

18 Images

BUILDING CONSENT

24706P

PROPERTY ID

005775



24706P

EXTRA INFORMATION/AMENDMENTS

AMENDMENT

03 FEB 2000

5 030200

Charge:

\$

Job:

ALTERATIONS @

Address:

27 DONNELLY STREET
OAKURA.

Consent No:

BC 24706

The changes covered by this amendment are:

ENGINEERING CALCULATIONS

Formal Declaration – (Please read carefully prior to signing)

This **AMENDMENT** to the abovementioned Building Consent is made by me as owner of the property:

Signature:

Date:

OR I am the applicant authorised by the owner to make this **AMENDMENT**:

Signature:

Date:

3 - FEBRUARY 2000

Office use only

Approved | Refused

Records

Building

OK

3.2.00

Public Health

District Planning

EXTRA INFORMATION/AMENDMENTS

AMENDMENT

04

1.50

Charge:

\$

Job:

Rev Wright

Consent No:

24706

Address:

24 Donnelly St
OAKHURST

The changes covered by this amendment are:

4. RELATION TO NPOC LETTER DATED
23/3/99 REGARDING DECK ADDED AT THE TIME
OF ORIGINAL ALTERATIONS.

Formal Declaration – (Please read carefully prior to signing)

This **AMENDMENT** to the abovementioned Building Consent is made by me as **owner** of the property:

Signature:

Date:

15.7.99

OR I am the applicant **authorised by the owner** to make this **AMENDMENT**:

Signature:

Date:

Office use only

Approved | Refused

Records	
Building	
	06 16.7.99
Public Health	
District Planning	

100x75 bearers do not comply - Bearers are to be designed
to table H1 NZS 3604 or be calculated by an Engineer
The 200x50 veranda's roof support beam spanning
2.75 does not comply with NZS 3604 table 6/7 and
is to be upgraded or confirmed by calculations by an
Engineer

EXTRA INFORMATION/AMENDMENTS

AMENDMENT

170399

Charge:

\$ Rex Wright

Job:

27 Donnelly St.

Consent No:

24706

Address:

Oakura

The changes covered by this amendment are:

Amendment for Verandah to North
East Walls

Floor plan used is
the old existing floor
plan.

Plan should be
superceded but
x section kept

Formal Declaration - (Please read carefully prior to signing)

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Signature:

Date:

OR I am the applicant authorised by the owner to make this **AMENDMENT**:

Signature:

Date:

Office use only

Approved	Refused
----------	---------

Records

Building

Public Health

District Planning

14.7.99

planning

The proposed amended floor plan does not
appear to relate to the altered floor
plan. Please confirm which floor plan
is correct.

A site plan showing the position of the
new work will be required

in relation to the property boundaries and
existing drainage

Calculate height off elevation plan submitter with original apply
site copy house copy of elevation plan must be attached to this amendment

EXTRA INFORMATION/AMENDMENTS

Consent No:

24706

Charge:

\$

Job:

Rex Wright

Address:

27 Ponally Street
Oakura

The changes covered by this amendment are:

change beam in ceiling to trusses
to be laid on site as per truss
Design.

Formal Declaration – (Please read carefully prior to signing)

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Signature:

Date:

OR I am the applicant **authorised by the owner** to make this **AMENDMENT**:

Signature:

Date:

4/10/98

Office use only

Approved	Refused
----------	---------

Records

Building

Public Health

District Planning

EXTRA INFORMATION/AMENDMENTS

Charge: \$ _____
Job: WPAHIT
Consent No: 24706 Address: Dormally Street
Oulana.

The changes covered by this amendment are:

as per Letter
new Ganglam Beam.

Formal Declaration – (Please read carefully prior to signing)

This **AMENDMENT** to the abovementioned Building Consent is made by me as **owner** of the property:

Signature: _____ Date: _____

OR I am the applicant **authorised by the owner** to make this **AMENDMENT**:

Signature: _____ Date: 22/9/98.

Office use only

Approved	Refused
----------	---------

Records	
Building	
	at full. 25.9.98
Public Health	
District Planning	

The 350x100 Ganglam beam on the
amended plans is landing over 2/200x50
lintal at one end and over a door opening
at the other. It will need to be shown how
the loading to the internal door lintal
will be taken into the ground and
calculations provided to the 2/200x50 lintal
to prove they will carry the loading.

Rung and spoke to Jan, 25.9.98 W.Sch

SHEET NO

1

FILE NO

3911/997

CALCS BY

lux

JOB NAME

Wright.

DATE

02.02.2010

Pictarua St. Oatun.

Tse

TSE TARANAKI & ASSOCIATES LIMITED

ARCHITECTS-ENGINEERS

INTERIOR DESIGNERS - PROJECT MANAGERS

Aries Print - 5554

Unauthorized work.

1. Verandah beam span. 2.75 m.

roof $DL + LH = 0.4 \text{ kPa}$.UDL on beam $= 0.4 \times \frac{2.2}{2} = 0.5 \text{ kNm}$

$$BM = 0.5 \times \frac{2.75^2}{8}$$

$$= 0.5 \text{ kNm.}$$

BM due to 1 kN pt. load.

$$BM = 1 \times \frac{2.75}{4} = 0.7 \text{ kNm.}$$

existing beam. 200×50 .

$$I = 4.7 \times \frac{19^3}{12} = 2686 \text{ cm}^4$$

$$Z = 4.7 \times \frac{19^2}{6} = 282 \text{ cm}^3$$

$$f = \frac{0.7 \times 10^3}{282} = 2.5 \text{ MPa. OK.}$$

$$\delta = \frac{1}{48} \times \frac{1 \times 2.75^3 \times 10^5}{8 \times 2686} = 2 \text{ mm.}$$

OK.

SHEET NO 2

FILE NO

3911/997

CALCS BY

hvx

JOB NAME

Wright.
Pictair St.
Oatua.

DATE

2/2

Tse

TSE TARANAKI & ASSOCIATES LIMITED

ARCHITECTS-ENGINEERS

INTERIOR DESIGNERS - PROJECT MANAGERS

Aries Print - 5554

2. Bearers. span. 1.4 m.

$$DL + LL = 2.2 \text{ kPa.}$$

$$UDL = 2.2 \times \frac{2.2}{2} = 2.4 \text{ kN/m.}$$

$$BM = \frac{2.4 \times 1.4^2}{8} = 0.6 \text{ kNm.}$$

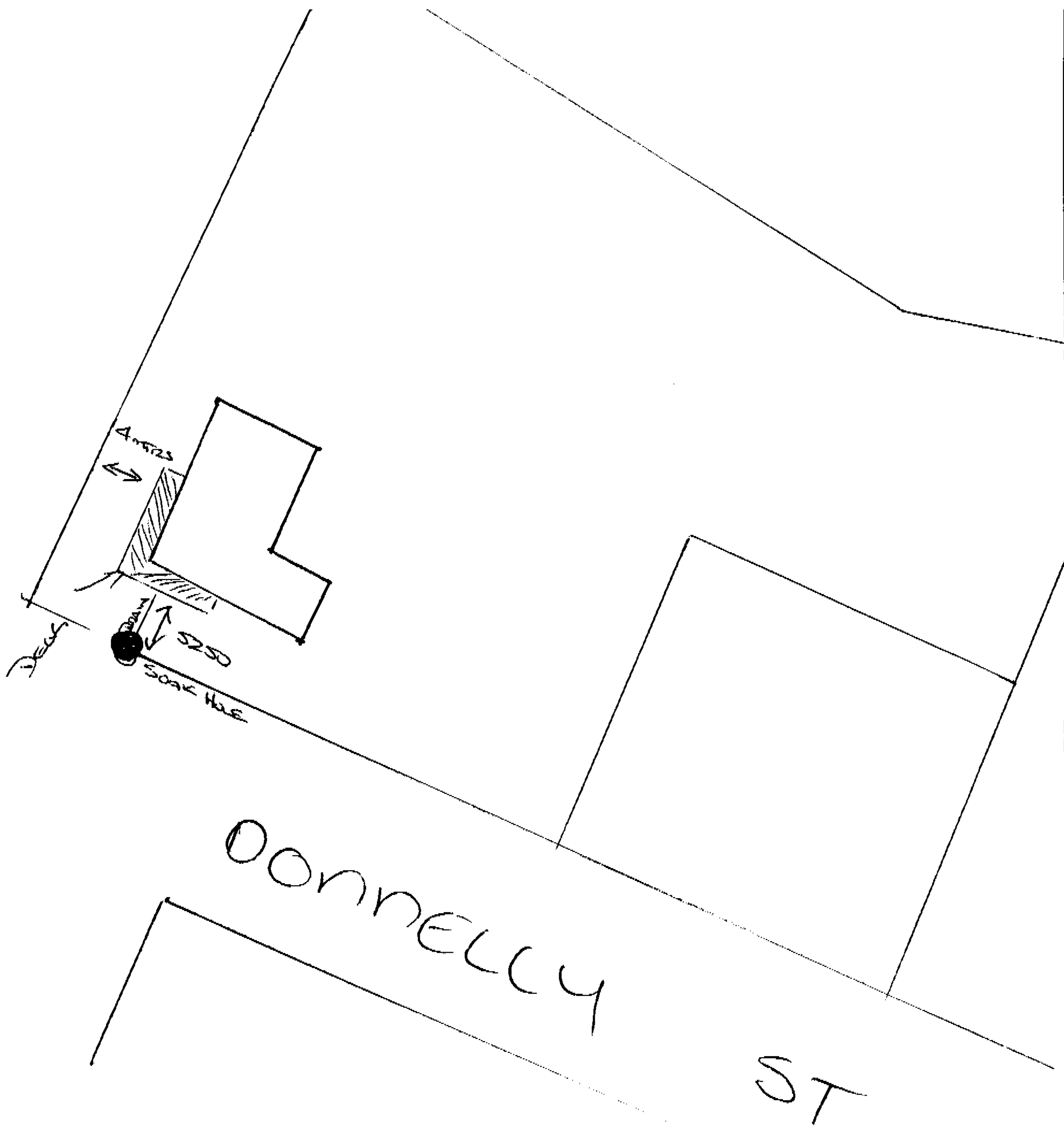
existing beater 100 x 75.

$$I = \frac{7 \times 9.4^3}{12} = 484 \text{ cm}^4$$

$$Z = \frac{7 \times 9.4^2}{6} = 103 \text{ cm}^3.$$

$$f = \frac{0.6 \times 10^3}{103} = 5.8 \text{ MPa. OK.}$$

$$\delta = \frac{5}{384} \cdot \frac{2.4 \times 1.4^4 \times 10^5}{8 \times 484} = 3.1 \text{ mm. OK.}$$



SITE PLAN

CHECK ALL MEASUREMENTS ON SITE BEFORE CONSTRUCTION

OFFICE COPY

PLANS AND SPECIFICATIONS APPROVED FOR TYPE, USE, SITING, COVERAGE AND CONSTRUCTION, AS IN ACCORDANCE WITH ALL RELEVANT ACTS REGULATIONS AND BY-LAWS ADMINISTERED BY THE NEW PLYMOUTH DISTRICT COUNCIL.

APPROVED: THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE NEW PLYMOUTH DISTRICT COUNCIL.

BC 24706

DATE
EXISTING ROOF

2/ 250 X 50 TIMBER BEAMS
AS PER PLAN

EXISTING LIGHT ROOFING

R2.2 BATTS TO CEILING

STRAPS TO BEAM
AND CEILING RUNNER

NEW 100 X 50 CEILING RUNNERS
INSTALLED NEXTED TO EXISTING
100 X 50 CEILING JOISTS @ 450c/s

Form Truss as per
Design from Cangam.

SOLID STUDDING AS
PER PLAN

KITCHEN

~~350 X 100 CANGAM BEAM~~

FAMILY RM

NEW ULTRA LINE GIB BOARD
CEILING LINING TO NEW
CEILING JOISTS TO FAMILY ROOM

R1.8 BATTS TO WALLS

NEW PILES UNDER
TIMBER STUDDING
UNDER TIMBER BEAM

750

100

EXISTING FLOOR

300

CONCRETE FOUNDATION

CROSS SECTION A - A

EXTERIOR TIMBER IN CONTACT WITH GROUND TO BE H4 TREATED

ALL INTERIOR TIMBER TO BE H1 TREATED

GENERAL

ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE BUILDING ACT AND REGS AND THE CONSTRUCTION ACT AND REGULATIONS

CONTRACTORS ARE REQUIRED TO COMPLY WITH THE BUILDING ACT 1991 AND THE HEALTH AND SAFETY ACT IN EMPLOYMENT ACT 1992 INCLUDING ALL CURRENT AMENDMENTS, TOGETHER WITH ANY REASONABLE REQUIREMENTS BY THE OWNER AND ENGINEER.

ALL MATERIALS SHALL COMPLY WITH THE CURRENT NZ STANDARDS 3602

ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS

THE GLAZING IS TO COMPLY WITH THE CURRENT NZ STANDARDS 4223 PARTS 1-3

CARPENTRY

THE BUILDER SHALL HAVE A COPY OF THE CURRENT NZ STANDARDS 3604 AND ALL APPROVED DRAWINGS AND SPECIFICATION ON SITE AT ALL TIMES

ALL CARPENTRY SHALL COMPLY WITH THE CURRENT NZ STANDARDS 3604

PLUMBING & DRAINAGE

ALL PLUMBING & DRAINAGE TO COMPLY WITH APPROVED DOCUMENT G12 & 13

RETICULATION TO BE COPPER PIPE TO THE WHOLE OF DWELLING

APPROVED PVC PIPING TO WASTES AND SEWERS IN ALL AREAS

STORMWATER FROM ROOF AND PAVED AREAS TO APPROVED STORMWATER OUTFALL



TARANAKI
DESIGN

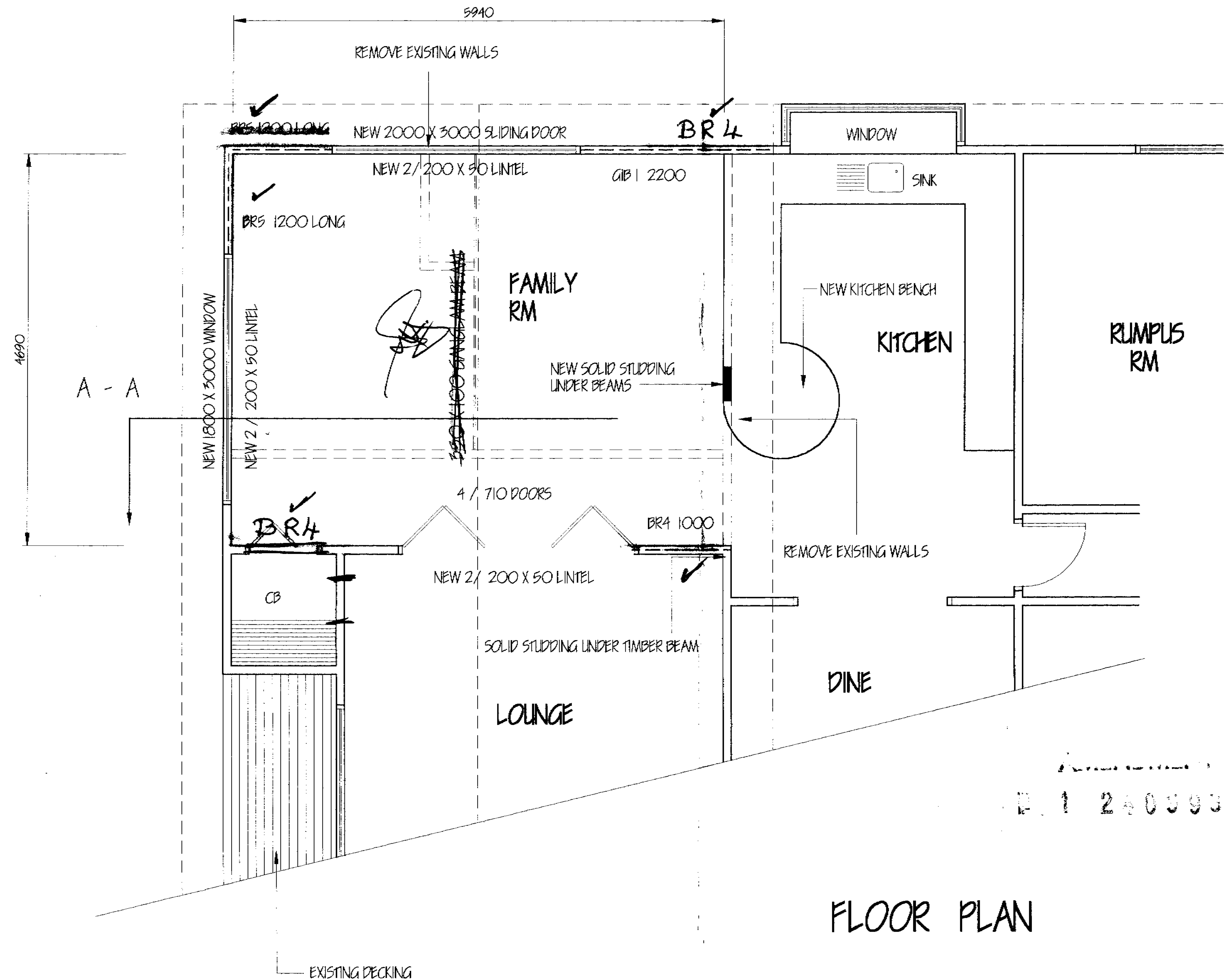
52 GOVETT AVE. - NEW PLYMOUTH
PHONE/FAX (06) 7533364
MOBILE PHONE (025) 490 726

ALTERATION FOR:
WRIGHT
PITCAIRN STREET
OAKURA

SCALE
1:50

FILE NAME
9836

CHECK ALL MEASUREMENTS ON SITE BEFORE CONSTRUCTION



FLOOR PLAN

GENERAL

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STORMWATER FROM ROOF AND PAVED AREAS TO APPROVED STORMWATER OUTFALL



TARANAKI
DESIGN

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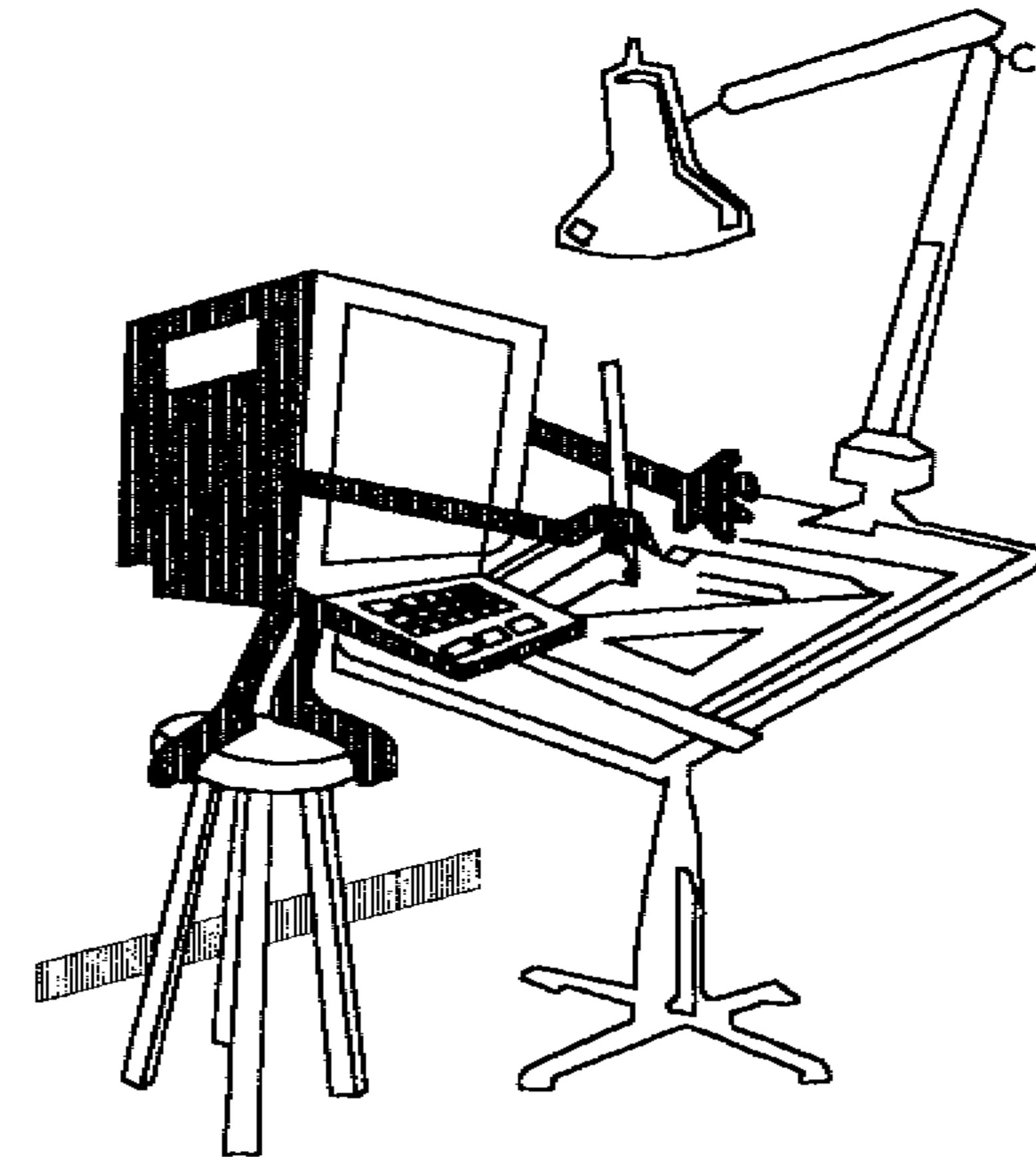
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PITCAIRN STREET
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9836

24705 / 24706
3.9.98.

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TARANAKI
DESIGN

OFFICE COPY

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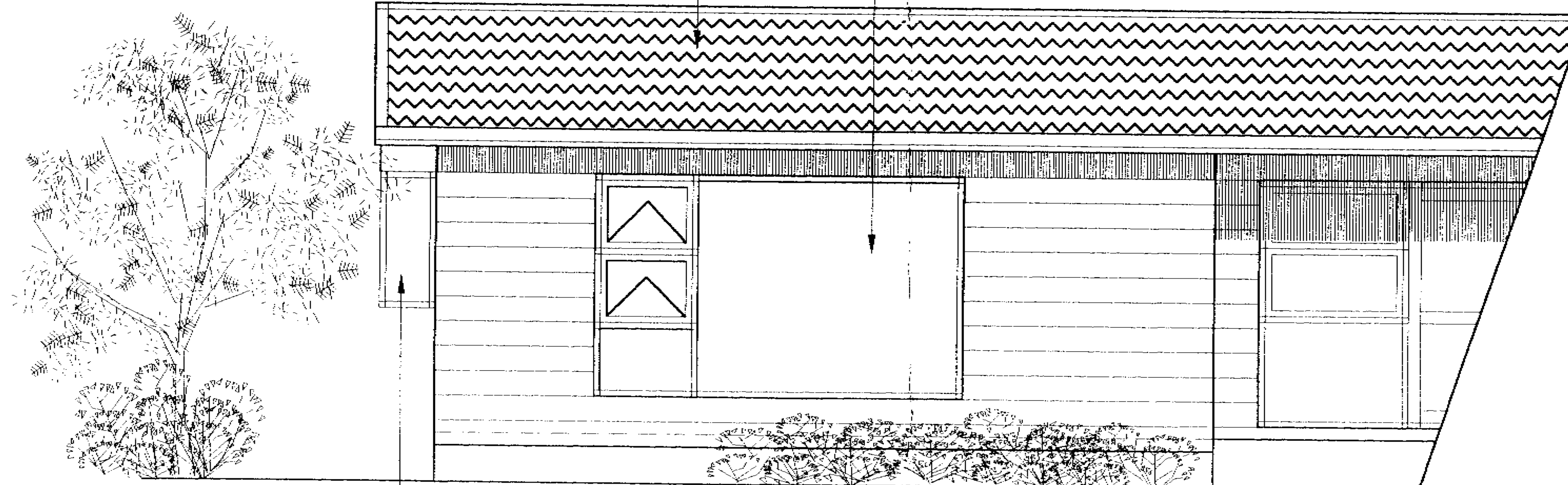
DATE

ALTERATIONS FOR:
WRIGHT
PITCAIRN STREET? (Donnally street)
OAKURA

APPROVED: _____
PLANS AND SPECIFICATIONS ARE THE PROPERTY OF
NEW PLYMOUTH DISTRICT COUNCIL.

EXISTING DWELLING

NEW WINDOW AS PER PLAN

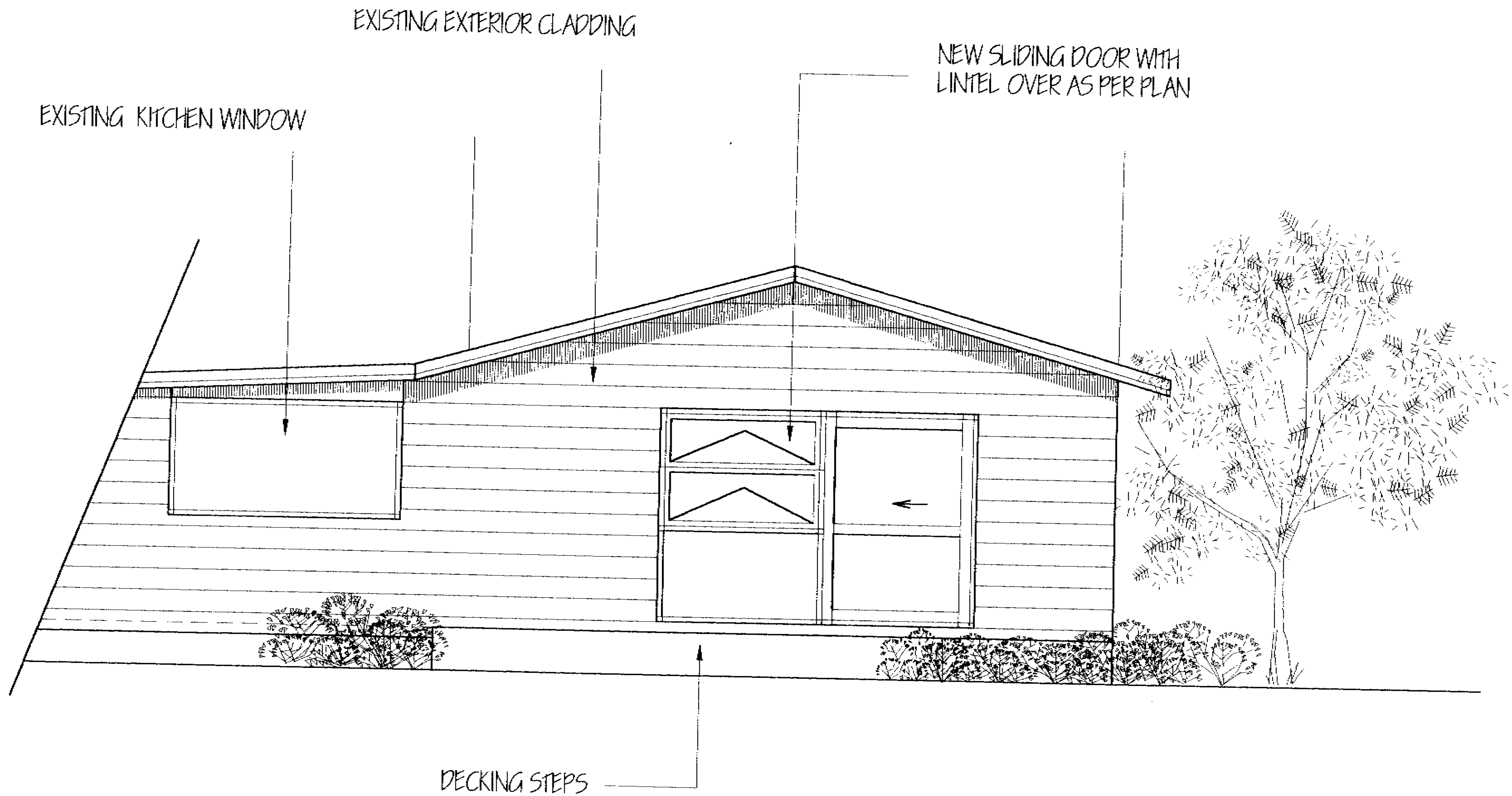


EXISTING KITCHEN WINDOW

NORTH ELEVATION

SCALE 1:50 PLAN NO 9836

CHECK ALL MEASUREMENTS ON SITE BEFORE CONSTRUCTION



EAST ELEVATION

GENERAL

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CARPENTRY

THE BUILDER SHALL HAVE A COPY OF THE CURRENT NZ STANDARDS 3604 AND ALL APPROVED DRAWINGS AND SPECIFICATION ON SITE AT ALL TIMES

ALL CARPENTRY SHALL COMPLY WITH THE CURRENT NZ STANDARDS 3604

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ALL PLUMBING & DRAINAGE TO COMPLY WITH APPROVED DOCUMENT D G12 & 13

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APPROVED PVC PIPING TO WASTES AND SEWERS IN ALL AREAS

STORMWATER FROM ROOF AND PAVED AREAS TO APPROVED STORMWATER OUTFALL



**TARANAKI
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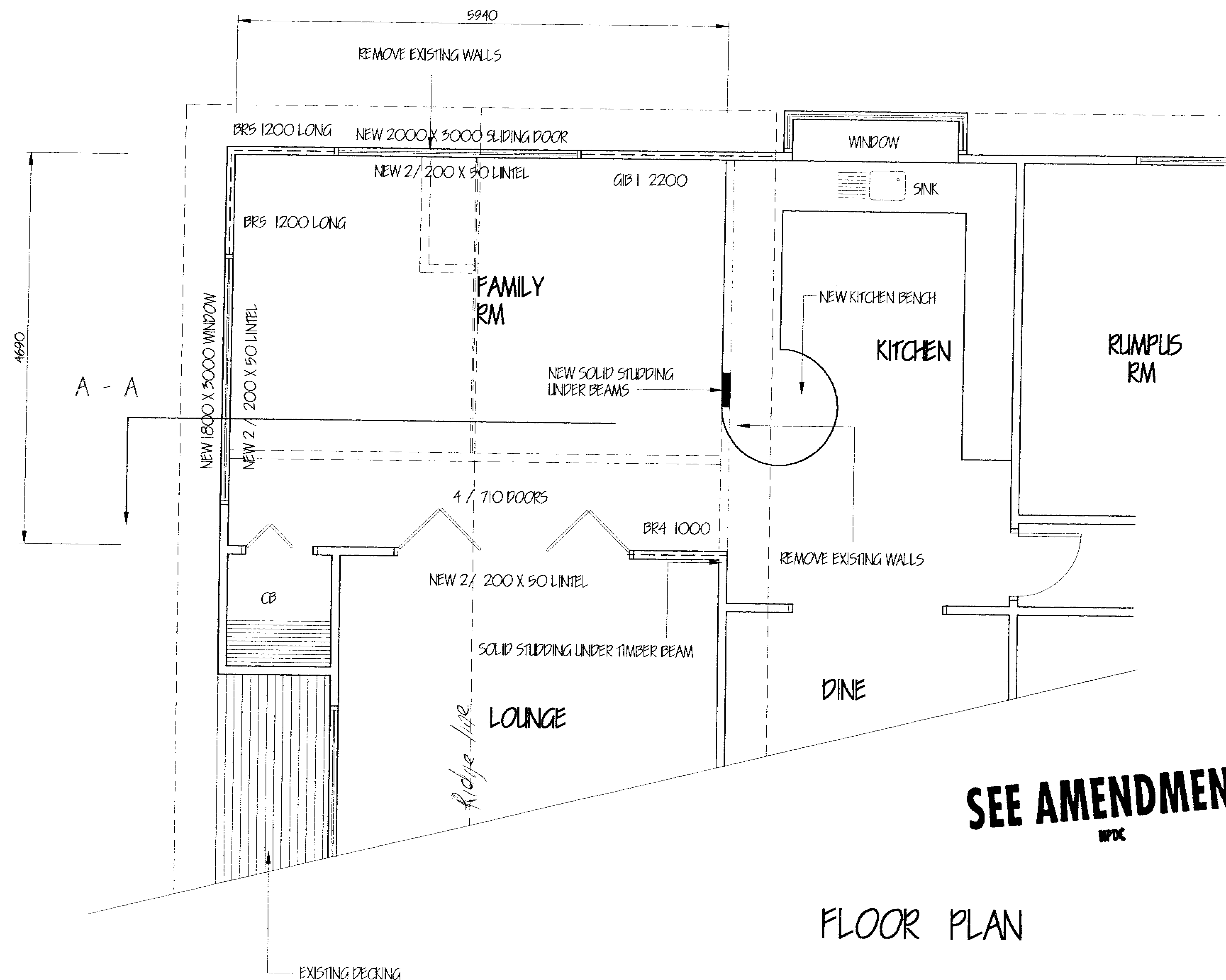
52 GOVETT AVE. - NEW PLYMOUTH
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MOBILE PHONE (025) 498 726

**ALTERATION FOR:
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PITCAIRN STREET
OAKURA**

SCALE
1:50

FILE NAME
9836

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OAKURA**

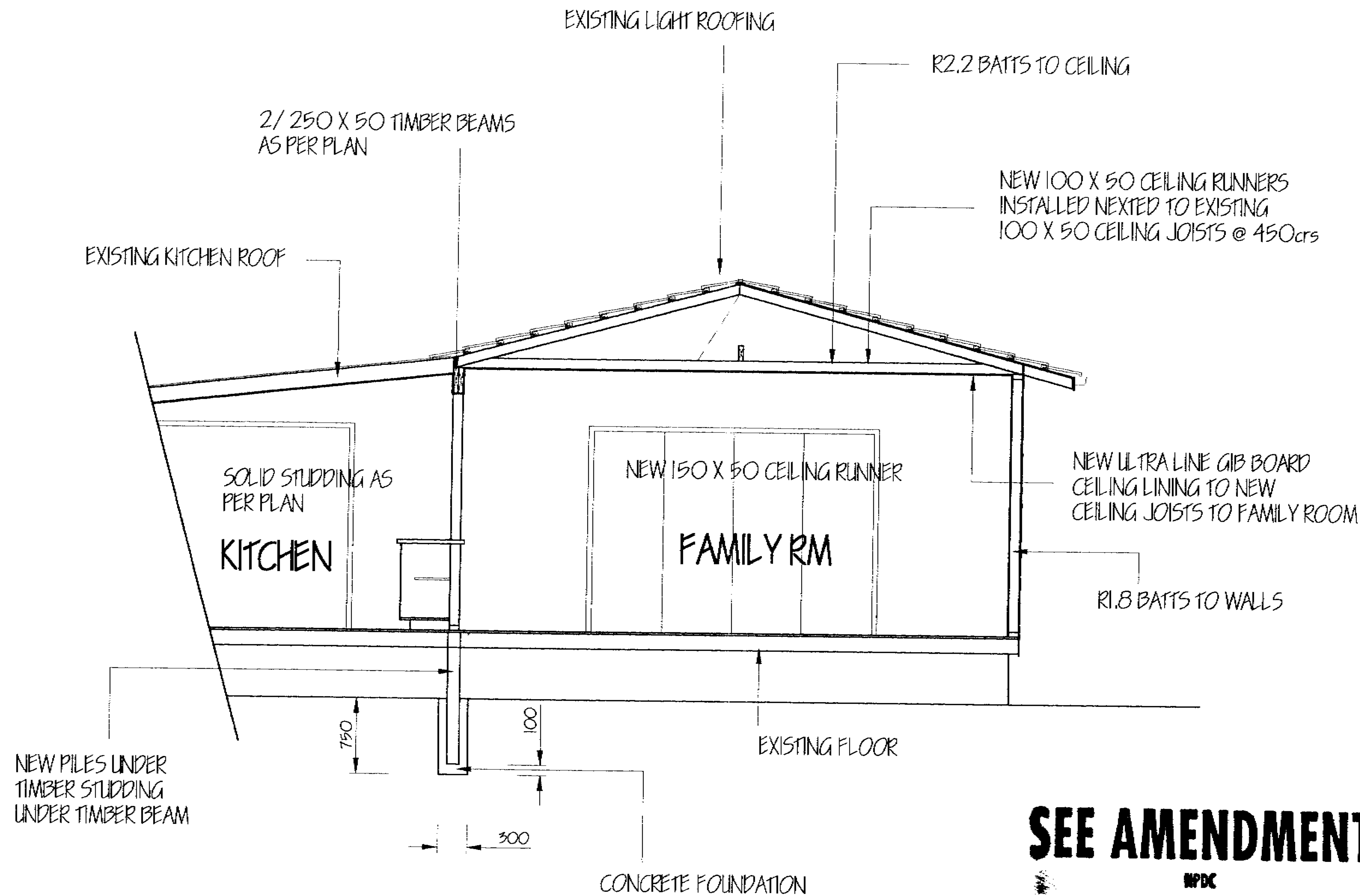
SCALE
1:50

FILE NAME
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SEE AMENDMENT
WDC

FLOOR PLAN

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SEE AMENDMENT
NPDC

CROSS SECTION A - A

EXTERIOR TIMBER IN CONTACT WITH GROUND TO BE H4 TREATED
ALL INTERIOR TIMBER TO BE H1 TREATED

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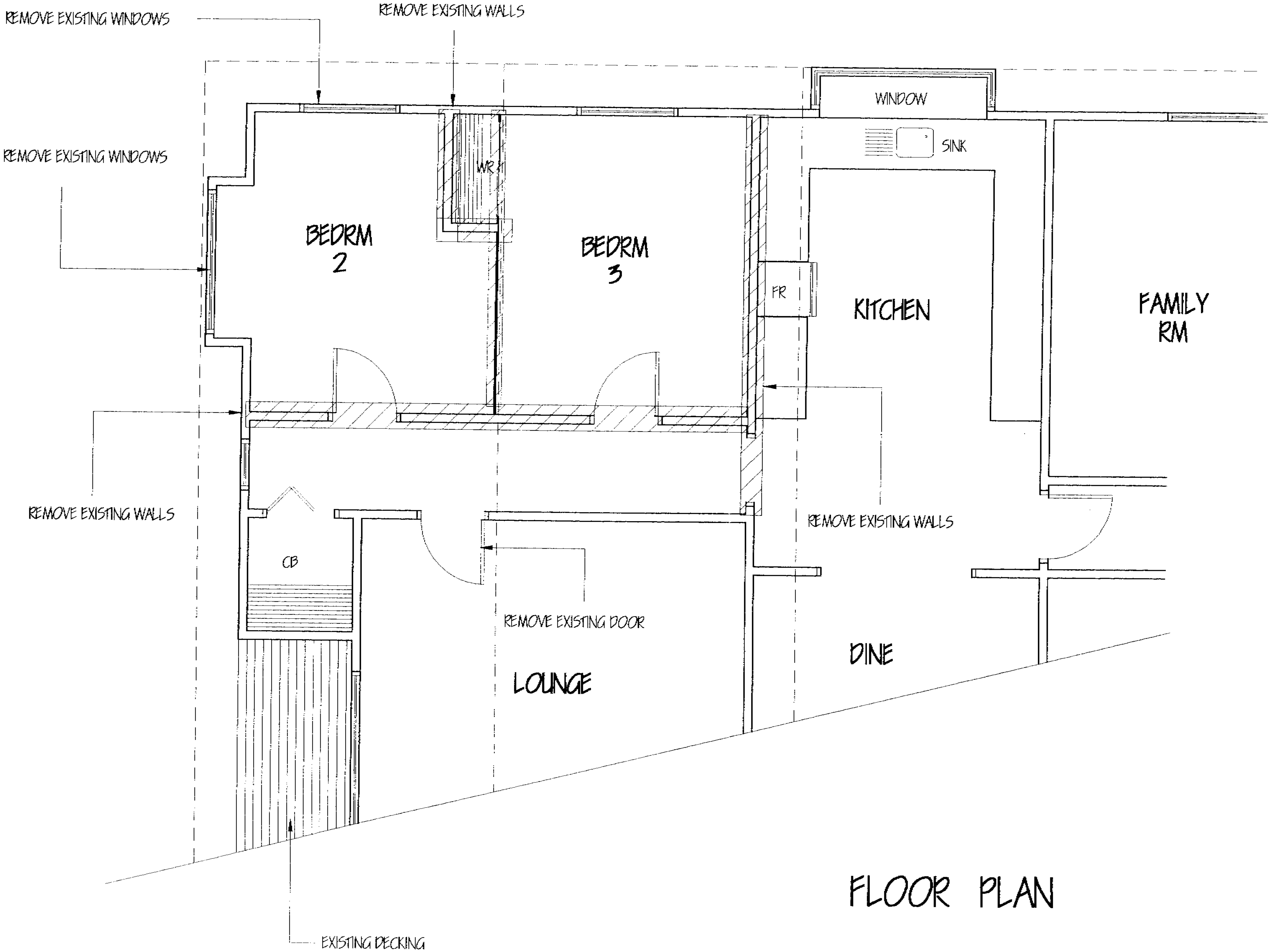
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